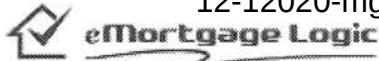


**Exhibit G**



Loan #: 4206

Loan #: 4206

Address: 3431 WELCH AVE, KITTREDGE, CO 80457

Inspection Type: Interior

Borrower: KENNETH DLIN

Project Type:

APN: 710435303032

## I. Order Information

Inspection Date:	Nov 18 2009	Deal Name:		VMA Request ID:	1744093
Client:	HFN	BPO Vendor:	eMortgage Logic, LLC	Vendor Tracking ID:	1114688
Agent Name:	Judy Jameson	Brokerage:	Pinnacle Properties Group, Inc	Agent Phone:	(303) 948-5840

## II. Subject Property Information

Occupied:	Yes	Property Type:	SF Detach	HOA Fees:		Zoning:	Residential
Last Sold Date:		Last Sale Price:		Data Source:	County Tax	Currently Listed:	Yes
Agent Name:	norma loyd	Initial List Price:		Initial List Date:	Nov 5 2009	Current List Price:	\$599,000
Last Reduction Date:	Nov 5 2009	MLS #:	827298	Total Repair Cost:	\$0	Est. Monthly Rent:	\$3,200

SUBJECT PROPERTY COMMENTS / EXTERNAL INFLUENCES: custom log home in great shape, no damage present, many builder upgrades, mountain property with mountain landscape

## III. Neighborhood Information

Location Type:	Rural	Supply/Demand:	Increasing	Value Trend:	Declining	Local Economic Trend:	Depreciating
Price Range:	120000 to 700000			Median Price:	\$250,000	Avg Marketing Time:	Over 6 Mos.

NEIGHBORHOOD COMMENTS: very slow market, homes in the area have had a significant drop in value in the past year, market for owner occupancy

## IV. Comparable Properties

	Subject		Sale 1		Sale 2		Sale 3		Listing 1		Listing 2		Listing 3	
Address	3431 WELCH AVE KITTREDGE, CO	98 INDIAN PAINTBRUSH DR GOLDEN, CO	32469 INVERNESS DR EVERGREEN, CO	780 ELK REST RD EVERGREEN, CO	86 JACKPINE LN EVERGREEN, CO	31250 EAGLE CREST LN EVERGREEN, CO	295 RED TAIL TRL LN EVERGREEN, CO							
Zip	80457	80401	80439	80439	80439	80439	80439	80439	80439	80439	80439	80439	80439	80439
Data Source	County Tax	MLS	MLS	MLS	MLS	MLS	MLS	MLS	MLS	MLS	MLS	MLS	MLS	MLS
Proximity		4.38 Miles	2.3 Miles	3 Miles	6.12 Miles	3.33 Miles	5.92 Miles							
Sale Price		\$580,000	\$525,000	\$545,000										
Sale Date		Jun 12 2009	Jun 12 2009	Jul 24 2009										
Orig. List Price	\$599,000	\$647,000	\$550,000	\$589,950	\$575,000	\$599,000	\$599,000							
Curr. List Price	\$599,000				\$575,000	\$599,000	\$599,000							
DOM	14	587	57	612	25	274	193							
Lot Size	lac	1.07ac	0.74ac	0.2ac	1.14ac	0.28ac	7.93ac							
View	mountain	mountain	mountain	mountain	mountain	mountain	mountain							
Design/Style	2-Story Conv	2-Story Conv	2-Story Conv	2-Story Conv	Ranch	2-Story Conv	2-Story Conv							
Type/#Units	SF Detach   1	SF Detach   1	SF Detach   1	SF Detach   1	SF Detach   1	SF Detach   1	SF Detach   1	SF Detach   1	SF Detach   1	SF Detach   1	SF Detach   1	SF Detach   1	SF Detach   1	SF Detach   1
Age	7yrs	18yrs	32yrs	2yrs	13yrs	29yrs	14yrs							
Condition	Good	Good	Good	Good	Good	Good	Good							
Above Grade SF	4,006	3,855	3,636	3,408	3,693	4,565	3,714							
# Rooms/Bd/Bth	11   4   4.5	10   4   4	9   5   4	9   4   4	7   3   4	9   5   3	9   3   2							
Basement SF	266	1499	622	1038	1253	955	0							
% Finished	90%	90%	90%	90%	90%	90%	0%							
Garage Type	Attached	Attached	Attached	Attached	Attached	Attached	Attached							
# Garage Stalls	3	3	3	3	2	3	2							
Pool/Spa	No   No	No   No	No   No	No   No	No   No	No   No	No   No							
Other Features	deck	custom home	updated	custom home	custom home	custom home	custom home							
Sales Type		Fair Market	Fair Market	Fair Market	Fair Market	Fair Market	Fair Market							
HOA Fees		0/mo	0/mo	0/mo	0/mo	0/mo	0/mo							

## COMPARABLE PROPERTY COMMENTS:

Sale 1: less living space, prof. finished basement, many builder upgrades

Sale 2: new light fixtures, updated kitchen/baths, prof. finished basement

Sale 3: custom home, many builder upgrades, prof. finished basement.

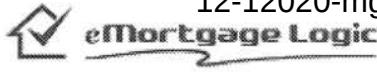
List 1: energy efficient, steam room, prof. finished walk out basement, many upgrades

List 2: custom home, prof. finished basement, vaulted ceilings, many builder upgrades

List 3: log siding, vaulted ceilings, many builder upgrades, 2 stairways

## V. Marketing Strategy

	'As-Is' Value	'Repaired' Value	Estimated Marketing Time for Subject:	121-180 days
Estimated Sale Price:	\$580,000	\$580,000	VALUE CONCLUSION SUMMARY:	very slow market, homes in the area have had a significant drop in value in the past year, market for owner occupancy
Recommended List Price:	\$580,000	\$580,000		



Loan #: [REDACTED] 4206

Loan #: [REDACTED] 4206

**VI. Repair Estimates**

Category	Comments	Estimated Cost
Roof	0	\$0
Sliding/Trim		\$0
Windows/Doors		\$0
Paint		\$0
Foundation		\$0
Garage		\$0
Landscaping		\$0
Fence		\$0
Other		\$0
<b>Estimated Exterior Repairs:</b>		\$0
Paint	0	\$0
Walls/Ceiling		\$0
Floors		\$0
Cabinets/Countertops		\$0
Plumbing		\$0
Electrical		\$0
Heating/AC		\$0
Appliances		\$0
Doors/Trim		\$0
Cleaning		\$0
Other		\$0
<b>Estimated Interior Repairs:</b>		\$0
<b>Total Estimated Repairs:</b>		\$0

**VII. Prior Sales & Listing History**

Date Listed	Date Sold	List Price	Sale Price	Date Source	Notes

**VIII. Additional Comments**

**BROKER COMMENTS:** subject is located in an area where homes are half the size of the subject and much older. subject is one of the newest homes in the area, the age of comps was expanded due to the lack of comps close in age, due to the lack of comps close in size, a wide range search was done to find comps close in size, subject is located in a rural mountain community where homes are spread out sitting on various acreage, easy commute to city, close to schools. Price adjustment for sold comp 3 is \$550000, sold comp 3 is \$527000, price adjustment for list comp 2 is \$603000 , list comp 3 \$590000.

**VENDOR COMMENTS:** QC Failure: Comps ust be within 10 years of age of subject, please find comps more similar in age or give a detailed explanation in the comment section of the BPO. Please show adjustments in the comment section for sold comps 2 & 3 and List Comps 2 & 3 for acreage variance. Please show adjustments for room count on List comps 1,2 & 3. Comments can be placed in the individual comment section for each comp or in the comment section for Brokers Opinion. THANKS

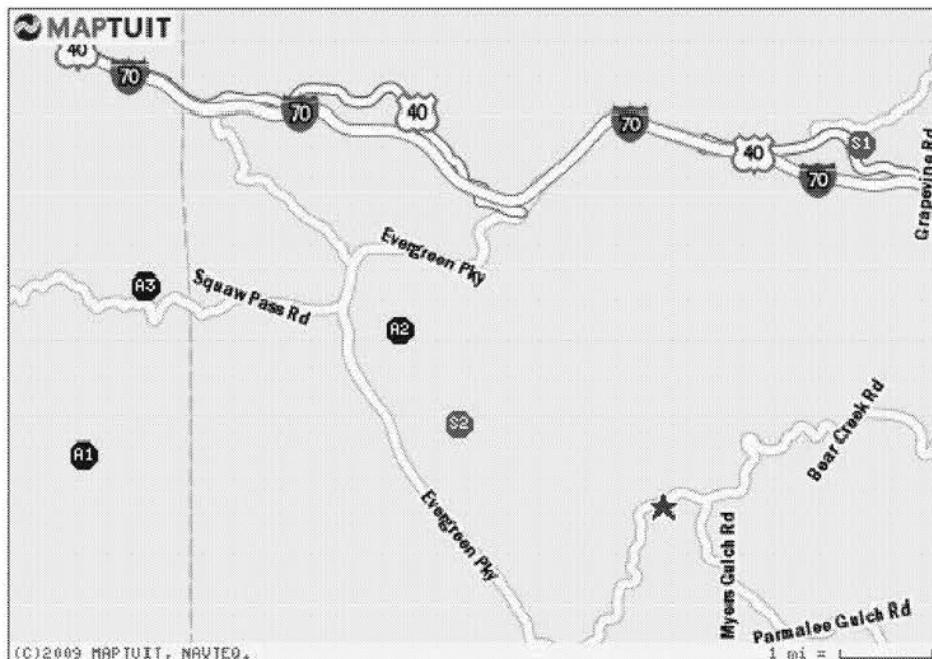
**QUALITY CONTROL NOTES:** Sold Comp# 1 is most similar to the subject:closest in size,style and condition.. Active Comp# 1 is most similar to the subject:closest in size,style and condition..

Judy Jameson

Broker Signature

Nov 19 2009 8:42AM

Date



(C)2009 MAPTUIT, NAVTEQ.

	Address	City	BR	BA	LotSize	SaleDate	Yr Blt	Sale/List Price	Dist
A1	3431 WELCH AVE	KITTREDGE	4	4.5	1ac		2002		
A2	86 JACKPINE LN	evergreen	3	4.0	1.14ac		1996	\$575,000	6.12 Miles
A3	31250 E EAGLE CREST LN	evergreen	5	3.0	0.28ac		1980	\$599,000	3.33 Miles
S1	295 RED TAII, TRL	evergreen	3	2.0	7.93ac		1995	\$599,000	5.92 Miles
S2	98 INDIAN PAINTBRUSH DR	golden	4	4.0	1.07ac	Jun 12 2009	1991	\$580,000	4.38 Miles
S3	32469 INVERNESS DR	evergreen	5	4.0	0.74ac	Jun 12 2009	1977	\$525,000	2.3 Miles
	780 ELK REST RD	evergreen	4	4.0	0.2ac	Jul 24 2009	2007	\$545,000	3 Miles

LoanNumber: 4206 Photo (Side) : 2-006.JPG

Exhibit G Pg.5 of 14



LoanNumber: 4206

Photo (Front) : 3-003.JPG

Ref#: 1114688



LoanNumber: 4206

Photo (Addr Verification) : 4-004.JPG

Ref#: 1114688

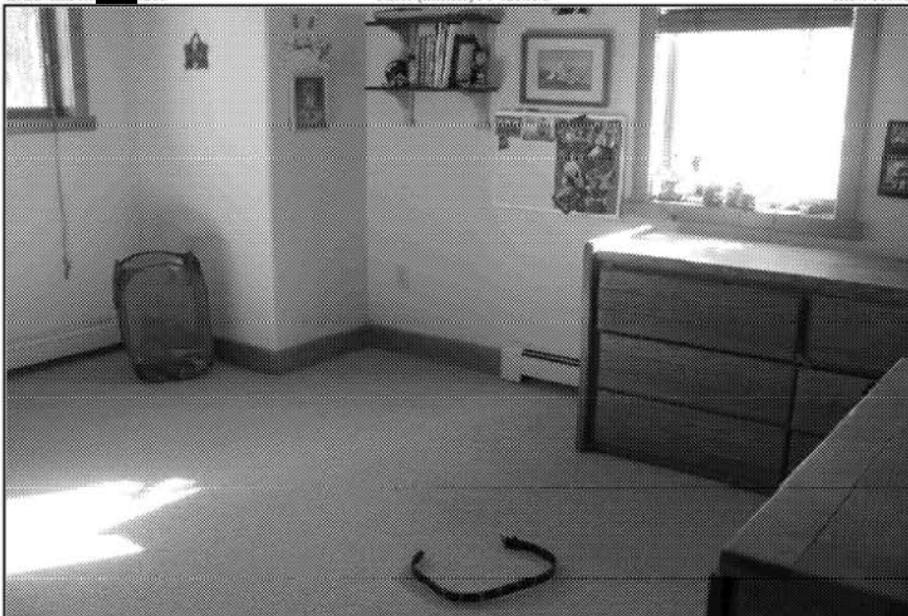




LoanNumber: 4206

Photo (Interior) : 6-021.JPG

Ref#: 1114688



LoanNumber: 4206

Photo (Interior) : 7-012.JPG

Ref#: 1114688





LoanNumber: 4206

Photo (Interior) : 9-017.JPG

Ref#: 1114688



LoanNumber: 4206

Photo (Interior) : 10-013.JPG

Ref#: 1114688





LoanNumber: 4206

Photo (Interior) : 12-019.JPG

Ref#: 1114688



LoanNumber: 4206

Photo (Interior) : 13-022.JPG

Ref#: 1114688



LoanNumber:

12-12020

Photo (Interior)

14-02310

KCPD

1114688

Exhibit G Pg 9 of 11



LoanNumber: 4206

Photo (Interior) : 15-016.JPG

Ref#: 1114688



LoanNumber: 4206

Photo (Interior) : 16-014.JPG

Ref#: 1114688



LoanNumber:

7-02010

Photo (Interior) : 17-02010.JPG

Exhibit G Pg 10 of 11



LoanNumber:

4206

Photo (Rear) : 18-005.JPG

Ref#: 1114688



LoanNumber:

4206

Photo (Street) : 19-001.JPG

Ref#: 1114688



**Notwithstanding any preprinted language to the contrary, this opinion is not an appraisal of the market value of the property. If an appraisal is desired, the services of a licensed appraiser must be obtained.**